



# DESIGN & ACCESS STATEMENT

## ST CYRES LOWER SCHOOL

## DINAS POWYS

August 2017

# DESIGN & ACCESS STATEMENT

## ST CYRES LOWER SCHOOL, DINAS POWYS

Document Reference	JPW0642
Document Issue	-
Document Status	FINAL
Release Date:	09.08.17
Author:	HD/AW
Checked by:	HD
Proof Read by:	HD

Copyright ©2017 RPS. All rights reserved. The material contained in this document remains the property of RPS.

No part of this document may be reproduced, copied, photocopied, translated, stored in or converted electronically into a retrieval system or transmitted, in any form, or by any means without prior written permission of RPS or as specifically detailed in any supplementary License Agreement issued by RPS.

In addition Plans and/or Image(s) may use map data licensed from Ordnance Survey® with the permission of the Controller HMSO. ©Crown Copyright License number: AR 161462.

Any infringement of this user agreement may render the perpetrator(s) liable to criminal prosecution and civil claims for damages.

Produced by RPS Planning and Development  
August 2017

*Document reference: O:\04 JOBS\OPEN JOBS\JPW0642 - FORMER ST CYRES LOWER SCHOOL, DINAS POWYS (CF)\5. Reports\2. Final Report JPW0642\_DAS\_09.08.2017.indd*

### Contents

1.	<b>Introduction &amp; Background</b>	3
	Development Vision	
	Purpose of this Document	
	Proposed Development	
	Site Location	
	Planning Policy Background	
2.	<b>Assessment</b>	10
	Site Description	
	Transport and Local Facilities	
	Archaeology and Built Heritage	
	Topography, Site Levels and Flood Risk	
	Drainage	
	Existing Landscape	
	Ecology	
	Residential Character Analysis	
	Constraints and Opportunities	
3.	<b>Consultation and Design Development</b>	26
	The Development Brief	
	Vale of Glamorgan Pre-Application Discussion	
	Design Commission for Wales	
	New Development Vision	
4.	<b>Development Proposals</b>	31
	Masterplan	
	Storey Heights Layout	
	Affordable Housing Layout	
	Parking Strategy	
	Appearance and Materials	
	Outline Permission Parameters	
5.	<b>Summary</b>	43
	<b>Appendix 1 - Design Review Report</b>	46



# **INTRODUCTION & BACKGROUND**



# 1. Introduction & Background

## Development Vision

“The Former St Cyres Lower School site will form a new neighbourhood in the south east of Dinas Powys helping to provide an attractive and suitable urban edge to the village.

The wooded setting and ecological importance of the site will help form the character of the development and contribute towards a sense of place. The community will be focused around a new community and recreation use area much in the same way as a traditional village green. The scheme will deliver much-needed high quality new private and affordable housing for the local community on what is currently an unused and derelict site”.



**BARRATT**  
HOMES

## Purpose of this Document

This Statement has been prepared on behalf of Barratt Homes to accompany the Hybrid Application comprising a full application for the residential development of the site for 220 units, highways and drainage infrastructure and associated landscaping and an outline application in respect of the community and recreational use area, on land at the former St. Cyres Lower School site at Murch Road, Dinas Powys. The Statement should be read in conjunction with the application plans and supporting documents.

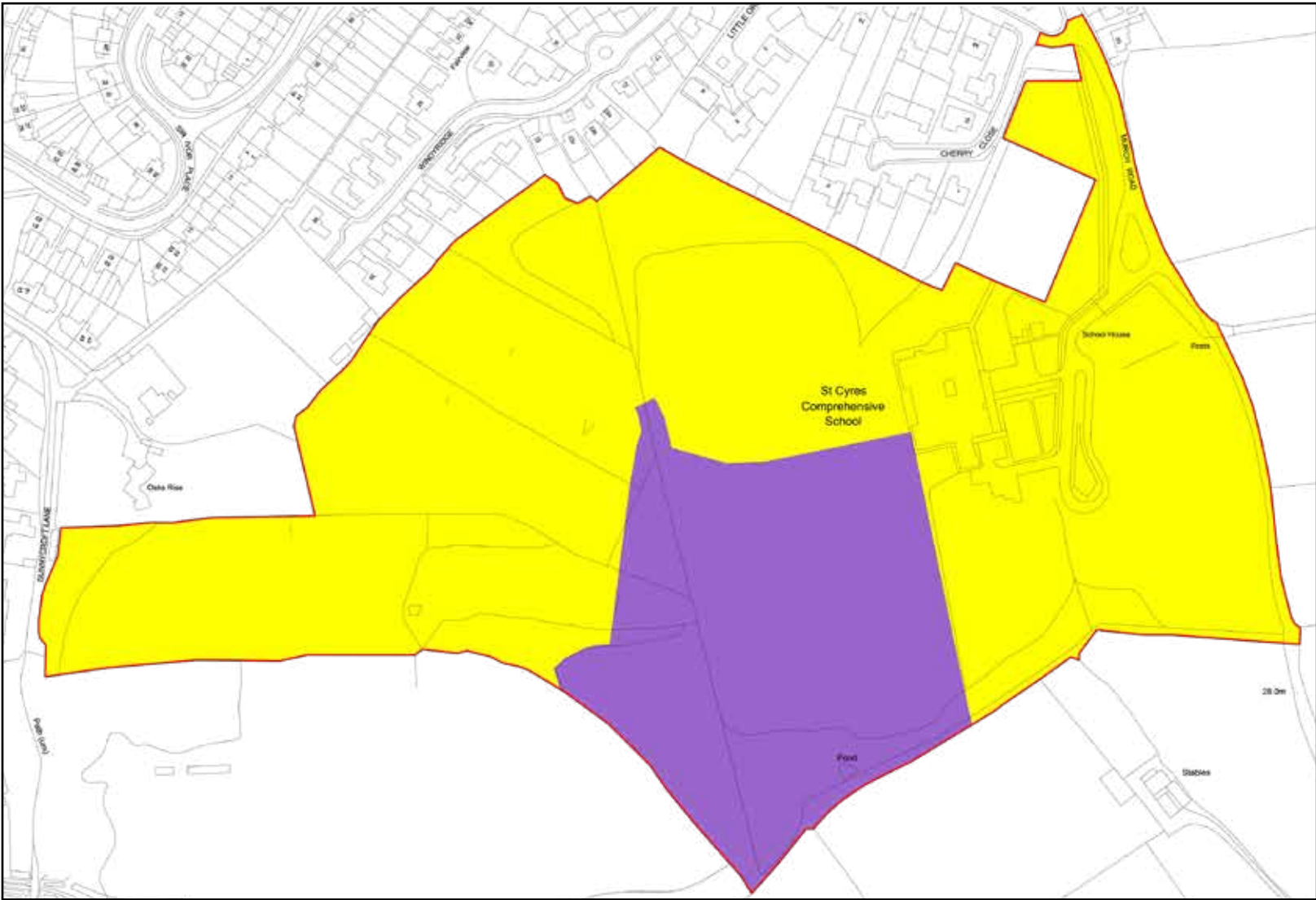
This document intends to inform and demonstrate the design principles behind the proposals, for both the full and outline application. These proposals build upon the Development Brief that was prepared for the site in advance of this application, in accordance with Policy MG 2 (26) of the Vale of Glamorgan Local Development Plan.

The draft Development Brief was presented to the Design Commission for Wales (DCfW) on the 16th March 2017. The concept presented in the Development Brief was generally supported by the DCfW. Their report is contained within Appendix 1 and the comments are addressed in this Design and Access Statement.

These comments, along with discussions with Natural Resources Wales regarding suitable Dormice mitigation measures form the basis for these proposals.

## Proposed Development

The proposed development is for a mixed use scheme of 220 residential properties (88 affordable), community and recreational uses. The area of land to be set aside for community and recreational facilities is 3 hectares with the Council's preferred location for this community hub being the land and playing fields associated with the former school.



- Full Application Area
- Outline Application Area

Site Application  
Boundary Plan

# 1. Introduction & Background

## Site Location

The site comprises seven fields of pastoral/arable land which are defined by hedgerows. The footprint of the demolished former St. Cyres Lower School is located towards north eastern edge of the site. An area of ancient and deciduous woodland, known as The Breeches, lies immediately beyond the southern boundary of the site. A triangular area of deciduous woodland – associated with a remnant farm complex is situated in the centre of the site.

Existing residential development on the south eastern flank of Dinas Powys is situated beyond the site's north western boundary. Contextually the site occupies part of the intervening farmland between the settlements of Dinas Powys (north west) and Penarth (east). The south western edge of Cardiff is located approximately 4km to the northeast.



*Site Entrance*



*View Across the Site*



## Site Location Plan

Plan by RPS. © Crown Copyright. All rights reserved.  
Licence number AR 161462 (Not to scale)

# 1. Introduction & Background

## Planning Policy Background

### Vale of Glamorgan Local Development Plan (LDP)

This application has been prepared in response to Policy MG 2 (26) of the VoG LDP, which allocates the site for the provision of 300 dwellings as part of a mixed-use development with a minimum of 40% affordable housing, a new community facility and public open space.

Appendix 5 of the LDP Written Statement sets out individual site details on the proposed housing allocations within the LDP. Accordingly, it states that development of the former St Cyres School site will provide improvements to local infrastructure in order to facilitate the use of sustainable transport, particularly in terms of improved pedestrian access to Eastbrook rail station. Further infrastructure improvements will be required in terms of surface water drainage, including an assessment for the potential of a Sustainable Drainage System (SuDS), while additional consultation will reveal if improvements are required in relation to foul water drainage and potable water supply. Detailed surveys regarding agricultural land quality and the potential for archaeological features will also be required.

The proposed development seeks to deliver this allocation in accordance with other, relevant policies within the emerging LDP, which are set out below. A balanced judgement of the material weight to be accorded to these policies is required:

**LDP Policy SP 1 – Delivering the Strategy:** The development proposals will help achieve the LDP Strategy by providing both market and affordable homes in a mix of housing types and tenures to help meet the needs of the local community and to reinforce the role of Dinas Powys as a Primary Settlement within the Vale of Glamorgan. Community facilities will also be provided.

**LDP Policy SP 3 – Residential Requirement:** The provision of a substantial number of new homes will help meet the identified, residential requirement of 9,460 new homes by 2026 to be made available in sustainable locations.

**LDP Policy SP 4 – Affordable Housing Provision:** The proposals include the requirement of LDP Policy M4 for 40% of all new homes on-site to be affordable, which will help contribute to the established need for 3,252 affordable dwellings over the Development Plan period.

**LDP SP 7 – Transportation:** A Transport Statement will be submitted as part of the planning application, which will identify if any improvements are required to the existing, local highway network.

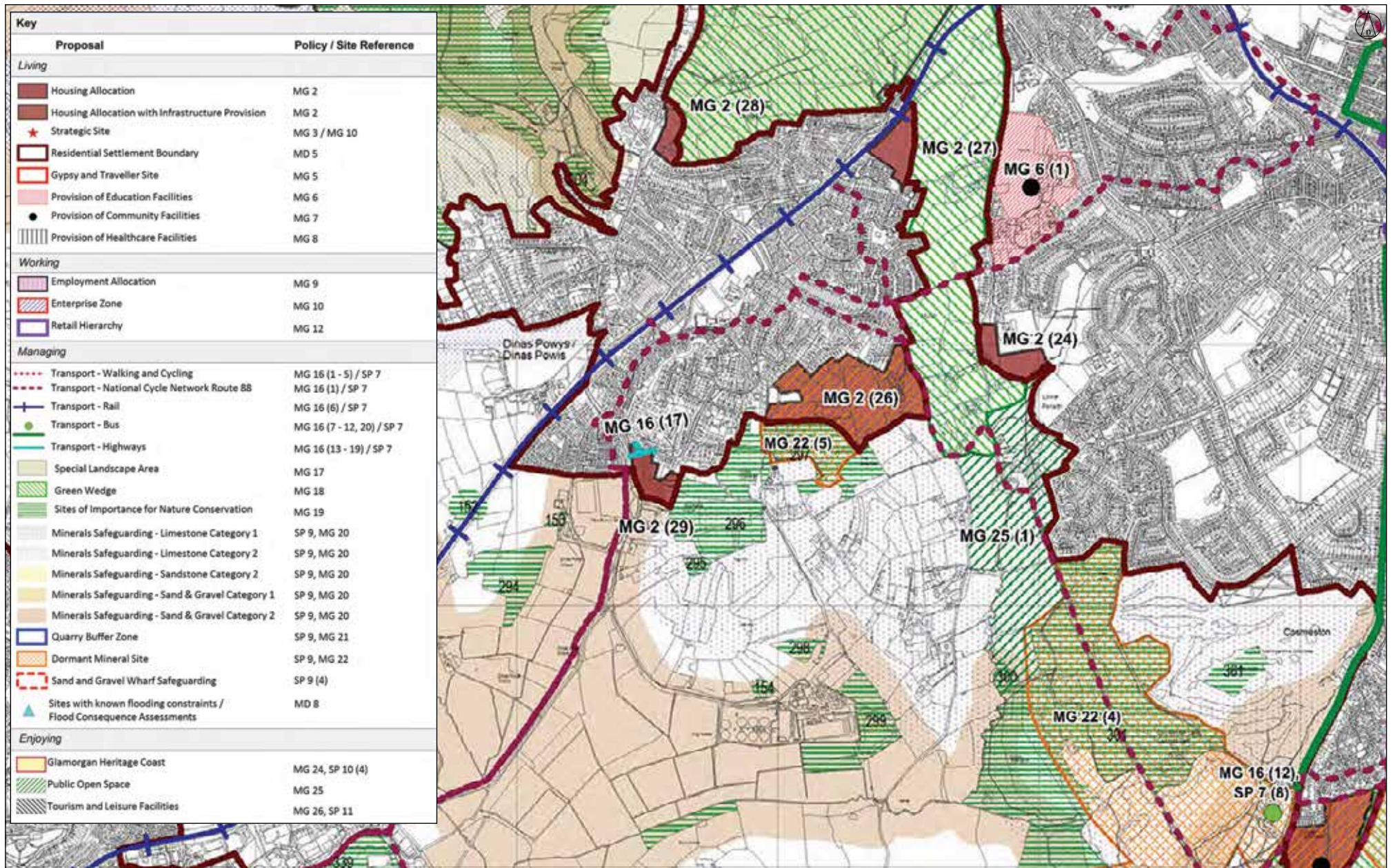
**LDP Policy SP 10 – Built and Natural Environment:** A crucial requirement of the development would be the protection of The Breeches Site of Important Nature Conservation (SINC) immediately adjacent to the site's southern boundary. Additionally, technical surveys will be undertaken as part of the planning process, which will reveal whether any important, archaeological or geological features are present within the site.

In addition to the above Strategic Policies, any planning application will need to pay due regard to the following Managing Development policies:

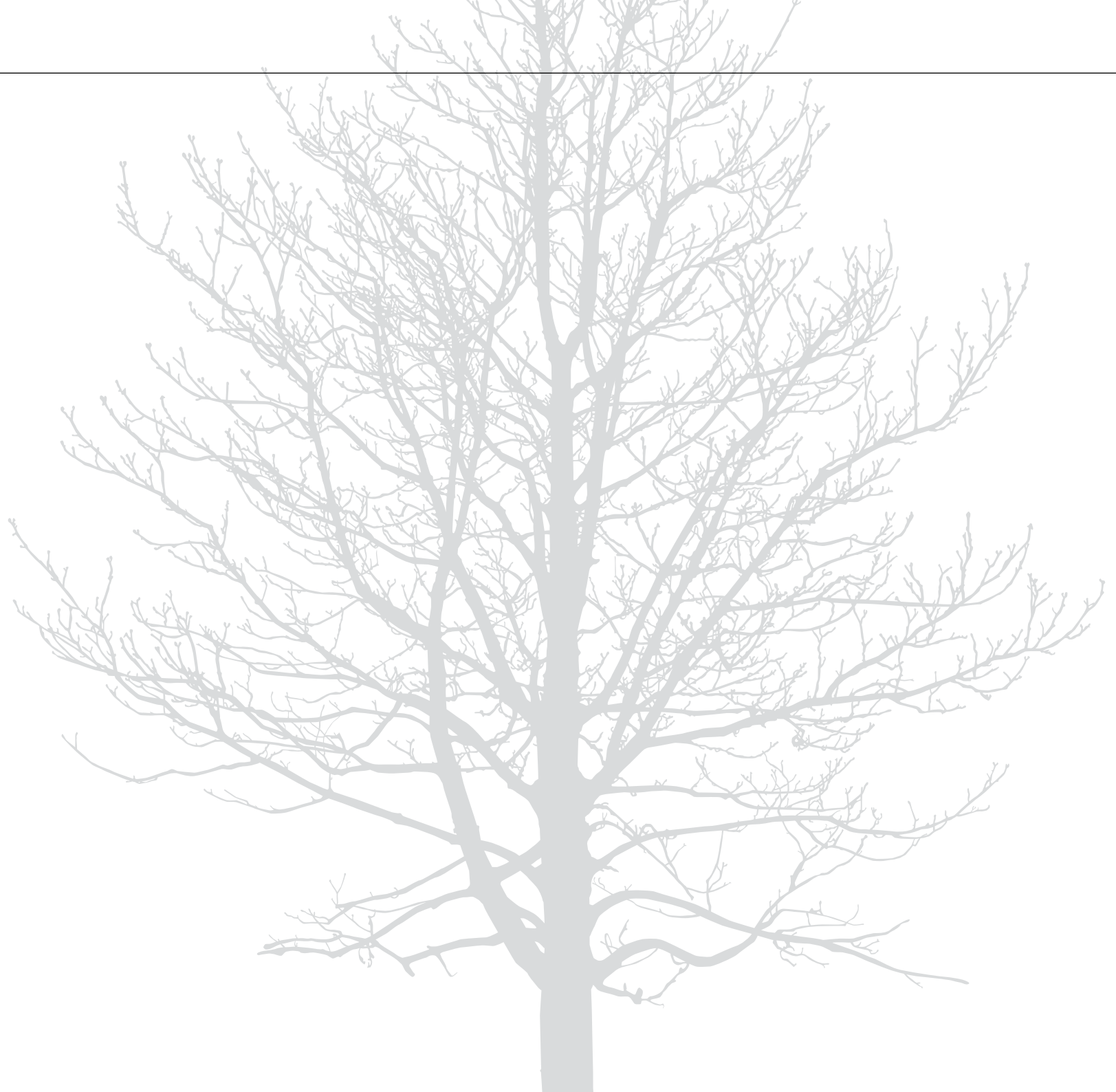
- **MD 1 – Location of New Development;**
- **MD 2 – Design of New Development;**
- **MD2A – Provision of Open Space;**
- **MD 4 – Community Infrastructure and Planning Obligations;**
- **MD 5 – Development within Settlement Boundaries;**
- **MD 7 – Housing Densities;**
- **MD 8 – Environmental Protection;**



# Local Development Plan Proposals Map Extract



Plan extract from the VoG LDP Proposals Map 2013 © Crown Copyright. All rights reserved. Licence number AR 161462 (Not to scale)



**ASSESSMENT**

**2**

## 2. Assessment

### Site Description

Located to the east of Dinas Powys and close to the City of Cardiff, the former St Cyres Lower School site, playing fields and adjacent green field areas are accessed from the adopted public highway called Murch Crescent/Murch Road. It is bounded to the north and west by existing suburban housing estates and to the south and east by agricultural land and woodland.

A new medical centre has recently been constructed on land adjacent to the north east.

### Transport and Local Facilities

The site is well located to encourage travel by sustainable modes of transport. The centre of Dinas Powys is located around 1.5 km to the west of the site where there is a wide range of employment, shopping, education, leisure and healthcare facilities within a reasonable walking and cycling distance and accessible using public transport.

The site is well served by footways and bus stops along Murch Road (within 5 minute walk of the site) for access by sustainable modes of travel.



*View of existing settlement*



*View to east of the site*



*Dinas Powys Medical Centre*



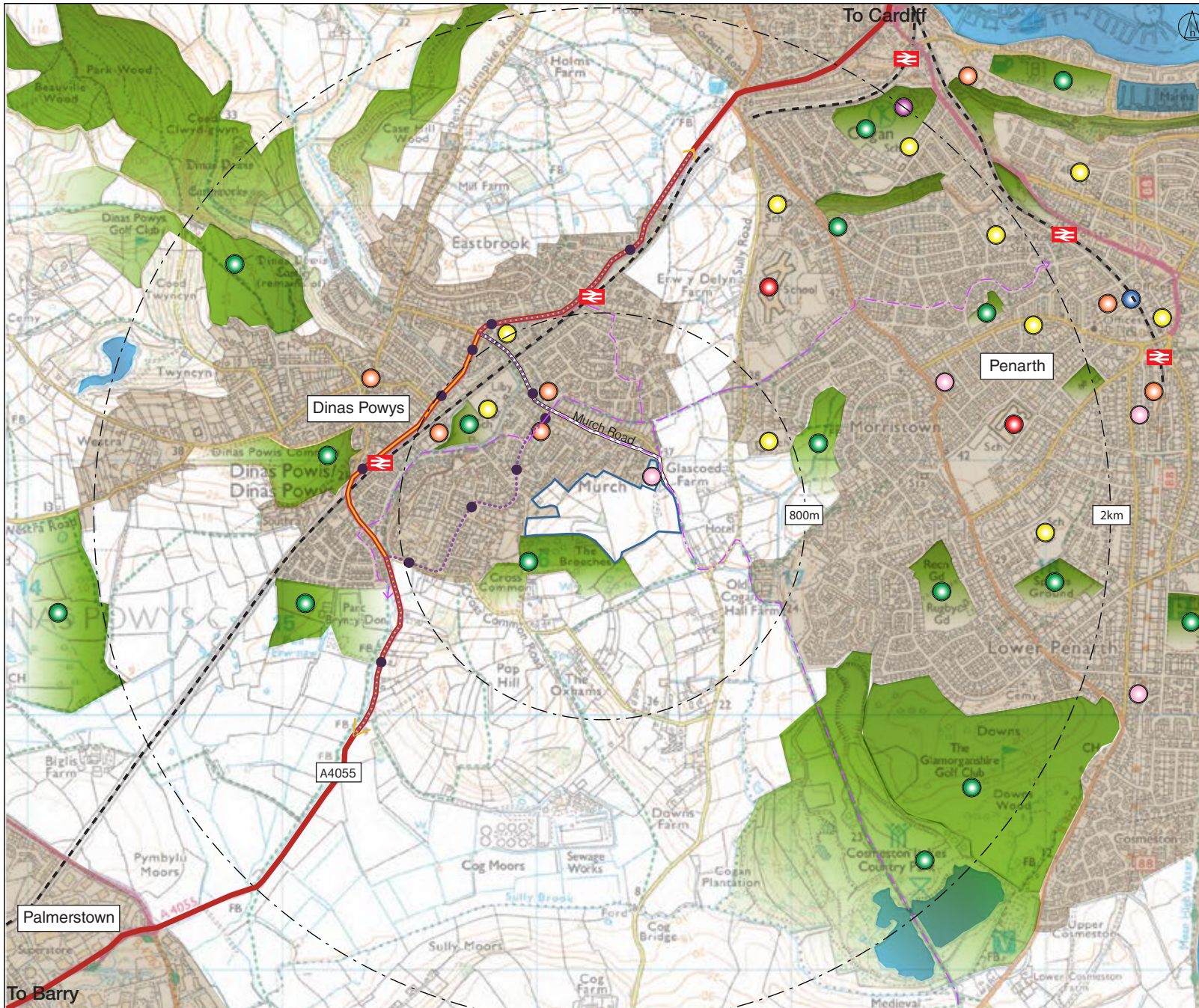
*Western area of the site*



*Site entrance*



*Dinas Powys Train Station*



- LDP Residential and Community Use Site Allocation
- Retail
- Healthcare
- Primary School
- Secondary School/College
- Leisure Centre
- Open Space/Recreation
- Employment Area
- M Train Station
- Bus Stops
- Bus Route 95
- Bus Route 93
- Proposed National Cycle Network Route 88

## Local Facilities Plan

Plan by RPS. © Crown Copyright. All rights reserved.  
Licence number AR 161462 (Not to scale)

## 2. Assessment

### Archaeology and Built Heritage

#### Archaeology

There are no designated archaeological heritage assets recorded within the site. There are two designated archaeological heritage assets within 1km of the site: the Cogan Deserted Medieval Village, 450m south-south-east of the site; and the Romano-British Farmstead on Dinas Powys Common, 750m west of the site. As a result, any future development at the site is not considered likely to have a significant impact on the settings of these assets, and it is anticipated that there will be no effect on the significance of these assets arising from the proposed development.

The non-designated site of Stonylands Farm is recorded within the study site which may date to the Medieval period; however, this is unproven. Historic mapping demonstrates that the farm was in existence in the early 19th with the farmstead being demolished when St Cyres School was constructed in the late 1970s. The farm is well documented and such evidence (if present) is considered to be of no more than local significance.

The archaeological potential of the site is likely to be low for anything other than remains of Stonylands Farm, as the main local centres of Prehistoric and historic activity are well documented.

#### Built Heritage

Built heritage is likely to be a consideration on this project. Whilst there are not considered to be any built heritage within the site, within 1 km of the centre of the site a number of listed buildings are noted, including several within the Dinas Powys Conservation Area located north of the site by approximately 580 metres.

The Grade II\* St Peters Church is located 320 metres south-east of the site and the Grade II listed no's 1-6 Little Orchard lie immediately north of the site and may all be impacted. It is likely that, the degree of tree screening and the relative size of the

designated heritage assets may hinder intervisibility with development on-site, and therefore limit the impact upon the respective assets.

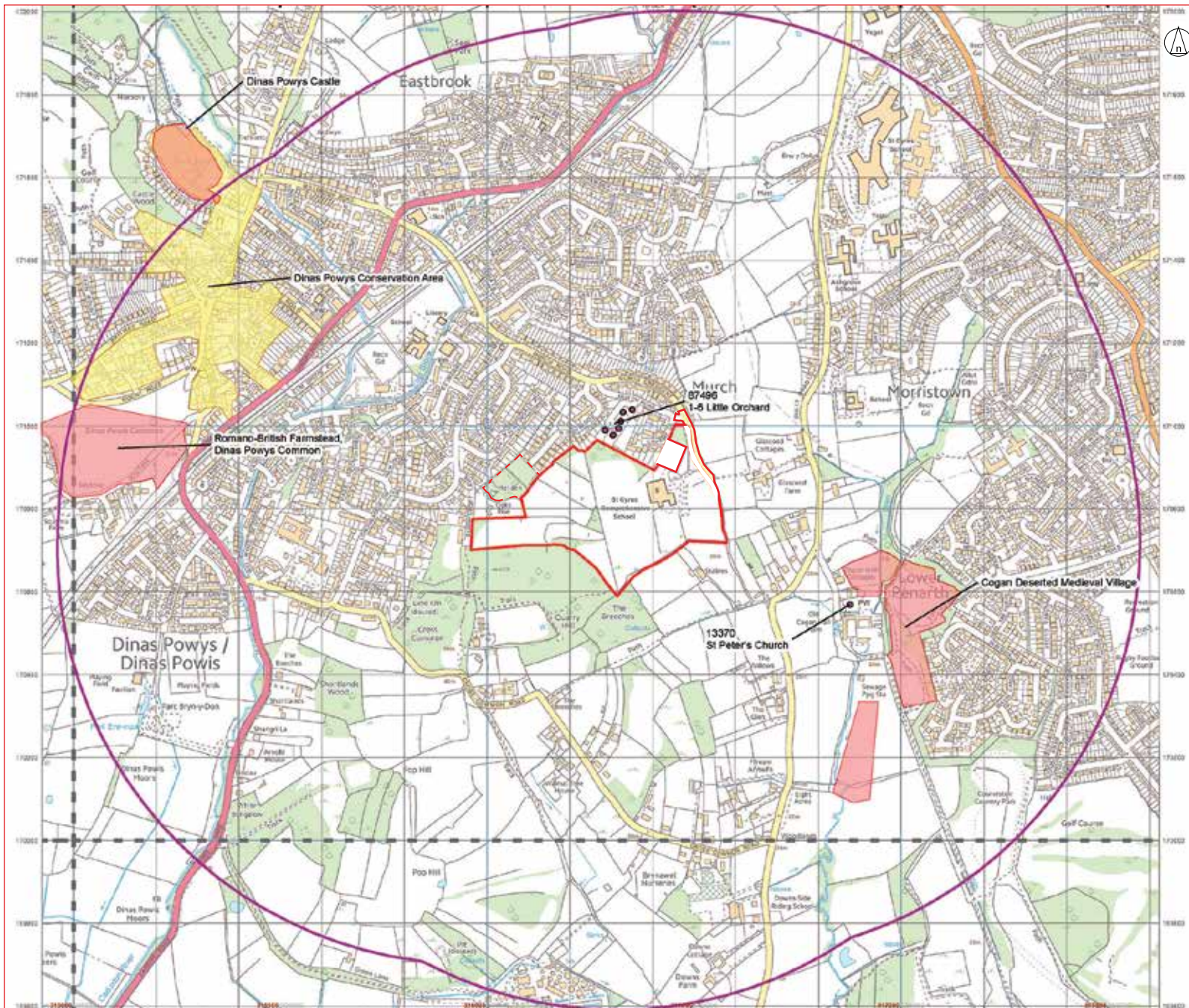
As such, the above built heritage is unlikely to form a constraint to development within the site.



*Grade II listed no's 1-6 Little Orchard*



*View towards St Peters Church*



## Designated Heritage Assets Plan

Plan by RPS. © Crown Copyright. All rights reserved.  
Licence number AR 161462 (Not to scale)

---

## 2. Assessment

### Topography, Site Levels and Flood Risk

In terms of topography, the site occupies a small hill that rises gently towards the south-west of the site and Murch Road along the eastern curtilage, before falling more steeply in a north-westerly direction towards the existing built-up area of Dinas Powys with gradient of approximately 1:9.

The lowest points of the site range from around 34m (AOD) along both the eastern and western curtilages, which rises to around 44m (AOD) at the crest of the hill at the site's boundary with The Breeches to the south-west.

The Development Advice Maps (DAMs) provided by the Welsh Government and Natural Resource Wales illustrate that the site is entirely located within Flood Zone A, where there is considered to be little or no risk of flooding.

### Drainage

#### Surface Water



Following site investigation work the use of infiltration methods have been discounted. Therefore surface water shall discharge from site at a Greenfield rate of 6.5 l/s/ha.

#### Foul Water

All foul water shall discharge to the local adopted network in agreement with Welsh Water. Due to topography the use of foul pumping stations will be required.





-  Contour 1m
-  Contour 1/2m
-  Existing Trees

## Existing Topography Plan

Plan by RPS. © Crown Copyright. All rights reserved.  
Licence number AR 161462 (Not to scale)

## 2. Assessment

### Existing Landscape

The site lies in an elevated position overlooking the village of Dinas Powys. The portion of the site associated with the former St Cyres Lower school is relatively flat and open in character. The remaining greenfield areas slope down towards the village edge and is comprised of pastoral/arable land enclosed by bushy hedgerow boundaries containing some linear groups and specimen trees. The site lies adjacent to a Broadleaved Woodland SINC (Site of Importance for Nature Conservation) known as the Beeches directly to the south. This is an ancient and deciduous woodland.

### Tree Preservation Orders

The Vale of Glamorgan Council have confirmed that there are no Tree Protection Orders in place on the site.



*Elevated position in the landscape*



*Strong vegetated field boundaries*



*Areas of open grassland*



*Northern boundary with properties overlooking the site*



*Southern boundary*

## 2. Assessment

### Ecology

The eastern half of the Application Site comprises relatively open land, including areas of hardstanding comprising the former school grounds alongside two species poor, semi-improved grassland fields, comprising the former playing fields. The western half of the Application Site comprises six field parcels divided by native treelines, woodland belts and outgrown hedgerows. Broadleaved seminatural and plantation woodland otherwise form the peripheries of the Application Site, and together with its connectivity to vegetated field boundaries, provide suitable habitat for dormouse, bats, breeding birds, reptiles and badger.

The field boundary hedgerows are limited in diversity but provide dense cover and connectivity for fauna including hazel dormouse (a single nest was recorded on site in 2015). The grassland is species-poor and of recent origin having developed on recently cultivated agricultural land.

The woodland blocks of highest value in the south and west of the site will be retained including the mature oak trees with bat roost potential. Lower value woodland on the southern, western and northern boundaries should also be retained to provide continuous woodland canopy cover and maintain dormouse habitat connectivity.

A stand-off between the boundary woodland and eastern hedgerow, and the development should provided a buffer between the development and dormouse habitat which should be planted to create areas of grassland, shrubs and woodland edge habitat where appropriate.

With respect to designated sites, Cross Common Site of Importance for Nature Conservation (SINC) overlaps with the Application Site's south western boundaries. Two Ancient Woodland sites, as listed on the Ancient Woodland Inventory (AWI), also adjoin the southern boundary of the Application Site, contained within the SINC boundaries.





### Natural Resources Wales

Given the presence of dormice in the hedgerows and woodland on-site, any significant removal of these habitats will require an Natural Resources Wales (NRW) EPS mitigation licence to be obtained prior to work commencing, in order for the work to be lawful. Appropriate mitigation will be implemented to ensure that individual animals are not harmed and that the favourable conservation status of the population is not adversely affected. A detailed method statement would be prepared and submitted as part of the licence application. Once issued the licence would need to be undertaken in accordance with the details of the method statement which would become a legally binding condition of the licence. The method statement would broadly include the following elements:

- Demonstration of no net loss of suitable dormouse habitat through a combination of replacement of habitat loss, and enhancement of retained habitat;
- Maintaining connectivity for dormouse through retained habitat and into off-site habitat;
- Controlled removal of dormouse habitat (if required) through appropriate timing and ecological supervision to avoid harm to animals;
- Protection of retained habitats through stand-offs, fencing, avoidance of light spill etc to minimise post development impacts;
- Enhancement of retained habitats through appropriate native shrub planting, provision of nest boxes etc;
- Management of retained habitats to promote enhancement such as low intensity hedgerow cutting with alternate sides cut in rotation.
- Post construction survey and monitoring

Discussions with NRW have taken place over the course of this application and the mitigation strategy is provided in detail in the "Dormice Mitigation Strategy" document which accompanies this planning application.



-  Category A Trees
-  Category B Trees
-  Higher Quality Habitat Areas
-  SINC

## Landscape and Ecology Plan

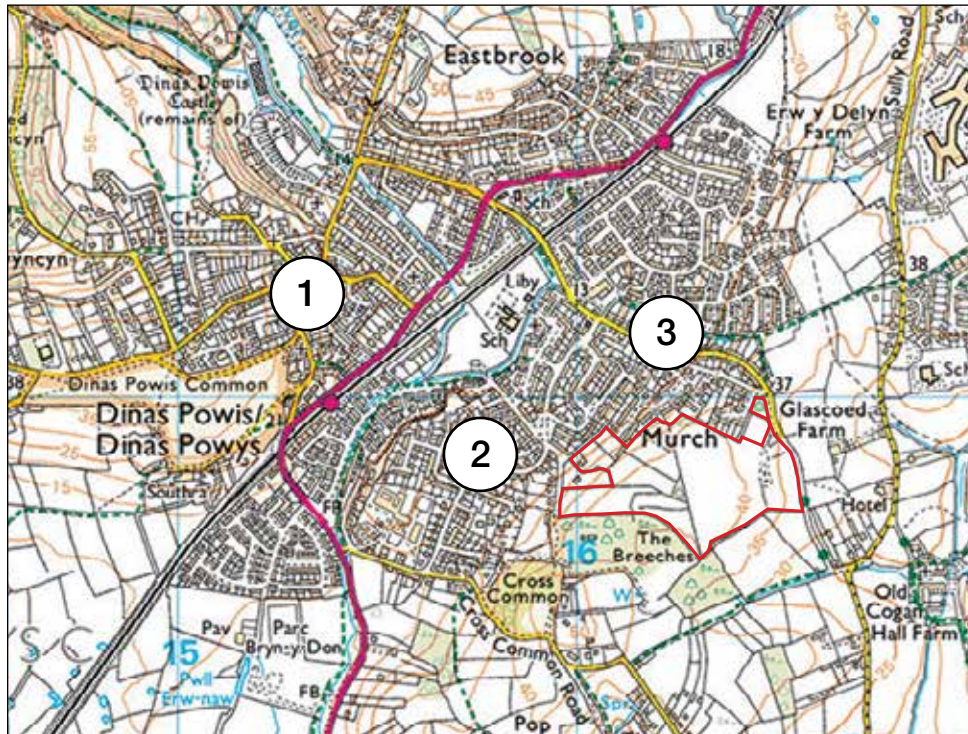
Plan by RPS. © Crown Copyright. All rights reserved.  
Licence number AR 161462 (Not to scale)

## 2. Assessment

### Residential Character Analysis

The urban fabric of Dinas Powys exhibits a range of architectural styles and materials reflecting the historic development of the village over time.

An analysis of existing built form around Dinas Powys can provide inspiration for development, as well as design references for urban form, landscape treatment and architecture. Analysis of these aspects helps in the creation of a locally distinctive new place which integrates with and benefits the character and identity of the wider village.



Character Analysis Location Plan

#### 1. Dinas Powys Village Core

The historic village of Dinas Powys is a designated conservation area, focussed around the village green and war memorial.

Urban form is informal with connected streets characterised by varying street widths and building positions. Variety of set-back and orientation reinforces the historic character.

Development is mostly two storeys in height, although there are some instances of short terraces or rows, most houses are detached or semi-detached.

Incidences of buildings constructed in local lias limestone with brick detailing, in addition to use of red brick and render in late C19 dwellings. Predominance of roofing slates with red clay detailing to ridge lines.

Boundaries between the public and private realm are strongly defined by stone walls

Historic street pattern comprising narrow shared lanes and traditional streets bounded by mature trees and shrubs within private gardens, create a 'rural' village character.

Open space is limited to informal areas associated with community buildings and large private gardens within the historic core, although Dinas Powys Common provides a wide open space to the southern extents of the conservation area.



Dinas Powys Village



## 2. Eastbrook Residential Expansion Area (west & south of railway line)

The large mid C20 residential expansion area to the west and south west of Dinas Powys.

Urban form is informal, with disconnected streets and cul-de-sacs off main highways. Uniform build line and set-back of dwellings from the highway.

Built form is largely two storey detached and semi-detached dwellings with incidental streets of single storey dwellings set within generous plots. There are discrete areas of larger, split-level, detached dwellings responding to the areas varied topography. Car parking predominantly on plot.

Materials are relatively uniform, generally render and red brick and some timber cladding. Brown concrete roof tiles. Discrete areas of slate roofing associated with early C20 properties.

Generous front gardens, associated with on plot parking, generally laid to lawn enclosed by low walls, and planting.

Streetscape is largely characterised by uniform street widths. Footways tend to be separated from the highway by a grassed verge to one side of the street, connecting incidental areas of green space comprising mature native and semi ornamental trees.

Open space provision is limited to incidental spaces comprising amenity grass and mature trees adjacent to main highways. Significant green corridor, comprising mature trees, associated with the Eastbrook watercourse.



Longmeadow Drive



Sir Ivor Place

## 3. Murch Road/Crescent Residential Area

The large early to mid C20 residential expansion area to the west and south west of Dinas Powys.

Urban form is informal, with disconnected streets and cul-de-sacs off main highways. Uniform build line, orientation and set-back of dwellings from the highway.

Built form is largely two storey detached and semi-detached dwellings with car parking predominantly on plot. There are discrete areas of larger, split-level, detached dwellings responding to the areas varied topography and small pockets of notable, bespoke dwellings.

Materials are relatively uniform, generally render and red brick and some timber cladding. Brown concrete roof tiles. Discrete areas of slate roofing associated with early C20 properties.

Generous front gardens, associated with on plot parking, generally laid to lawn enclosed by low walls, sometimes retaining the garden, and planting.

Streetscape is largely characterised by uniform street widths with footways to each side streets bounded by mature trees and shrubs within private front gardens. Mature trees within rear gardens are generally visible from the streets between buildings and above roof lines, contributing to the setting.

Open space is limited to informal areas associated with community buildings and large private gardens.



Murch Road



Murch Crescent

---

## 2. Assessment

### Constraints and Opportunities

The analysis shows that the site presents a number of constraints that will need to be overcome in order to create an attractive environment, that sits well within its context and maximises the opportunities the site presents.

#### Existing properties & Listed Buildings

There are a number of existing residential properties that border the site to the north and west. Properties along Cherry Close to the north east have direct views into the site and sufficient landscaping will be needed to protect the amenity and privacy of these residents. Listed properties in Little Orchard also border the site to the north. Due to the topography of the area these properties sit below the main body of the site. The landscaping in this area will have to be considered to ensure the current setting of these properties is maintained. Properties bordering the site to the north west also sit lower than the site and landscaping will need to be used to ensure the amenity and privacy of these residents is maintained.

#### Landscape & Ecology

There are areas of high quality landscaping and habitats on the site that are suitable for reptiles, bats and badgers. Significantly there are also Dormice present on the site and their breeding areas and resting places are protected by law. NRW have stated that any loss of dormouse habitat needs to be replaced elsewhere on site which will see the consolidation of the habitats into certain areas of the site. NRW have also stated that these areas will need to be fenced off from public use which will restrict the potential pedestrian/cycle links into and out of the site.

#### Community and Recreation Use Area

The local authority has identified a 3 Ha area at the centre of the site for use as a 'community facility'. The precise use is yet to be determined.

#### Access & Accessibility

The site shall be accessed off Murch Road utilising the current access point which will be improved to accommodate the development. This sits just below the access to the new medical centre which is now fully operational. Pedestrian and cycle access will be more limited due to the NRW requirement to fence off the new habitat areas. Pedestrian and cycle access will be focused out of the main access point onto Murch Road.

#### Topography & Views

The location and topography of the site can allow for wide ranging views out of the site and close range views into the site. The eastern part of the site is generally flat and level with the land to the east. This results in shorter distance views which in areas are often blocked by hedgerows and tree belts. The western area of the site is more steeply sloping and sits above the surrounding area to the west. This results in long range views out of the site.

#### Services

A water main runs down the eastern side of the site and a 3m exclusion zone restricts development in this area. This main has the potential to be relocated.

#### Heritage & Archaeology

There are two Scheduled Ancient Monuments within the wider area of the site, but they will have no effect on the development of the site. The listed residential homes in Orchards Close will need to be respected and their landscape setting preserved.





## Constraints and Opportunities Plan

Plan by RPS. © Crown Copyright. All rights reserved.  
Licence number AR 161462 (Not to scale)

---



**CONSULTATION & DESIGN  
DEVELOPMENT**



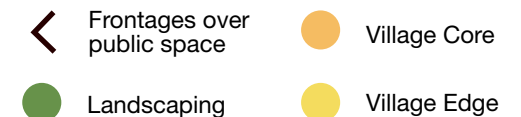
### 3. Consultation & Design Development

#### The Development Brief

A Development Brief was prepared in response to Policy MG 2 (26) of the VoG LDP, which allocates the site for the provision of 300 dwellings as part of a mixed-use development with a minimum of 40% affordable housing, a new community facility and public open space. The development brief proposed a vision and set of design principles for the site which was submitted to the local authority ahead of this application. The development brief was also presented to the Design Commission for Wales for comment.

The design principles set out in the Development Brief included:

- Ecological Enhancement - Woodland and habitats of highest value should be retained along with lower value woodland where possible. This will maximise the retention of important dormouse habitats and connectivity between them. Enhancement of retained woodland, and planting of new broadleaved woodland will consolidate and further enhance the dormouse habitat within the site.
- Community Hub - The area reserved for community uses sits at the heart of the site and could potentially be utilised as a “village green” for the scheme.
- Drainage - The topography of the site limits the drainage options that can be achieved.
- Access and Movement - The site will be accessed from Murch Road and a clear road hierarchy and movement network will need to be established within the site.
- Pedestrian/cycle links were sought at a number of locations into the surrounding area.
- Village Core - The north eastern section of the site should have the character of a village core, situated around the community hub.
- Village Edge - The western and eastern edges of the site should form a lower density and ‘green’ character that better reflect the topography and landscape setting of the area.



#### Development Brief Concept Plan

Plan by RPS. © Crown Copyright. All rights reserved.  
Licence number AR 161462 (Not to scale)

## Vale of Glamorgan Pre Application Comments

In February 2017 pre-application discussions were conducted with the Vale of Glamorgan Local Authority.

At the meeting it was clear that the ecological constraints on the site are central in the master planning of the scheme, and that the discussions have already been undertaken with NRW. These have had a significant effect on the approach to the development of the site with the need to mitigate for dormice, a protected species, resulting in areas that cannot be developed. A layout plan was submitted which identified these areas, and showed a relatively detailed road alignment and location of housing.

A number of issues relating to the current layout were highlighted for further consideration. These include:-

- Permeability and movement through the site. There are existing 'desire lines' and it was suggested that more could be made of existing linkages.
- The context of the site, with the present layout appearing to 'turn-in' on itself. How should it relate to the existing development along the boundaries of the site, including the area to the west earmarked for future development. A positive was the orientation of the houses on the eastern boundary. These face the lane
- A greater understanding is required in relation to the existing tree coverage and any retention. It was suggested that there could be an opportunity to retain some of the existing trees at the entrance to the site and to consider more of a feature design at this location.
- Neighbouring amenity appears to be an issue in certain locations, for example, the houses close to the health centre and the potential for overlooking.
- The ecological buffers should not be seen as constraints but opportunities. Therefore the development should maximise viewpoints of the areas of tree cover and buffer areas, rather than the development backing onto these buffer areas and "turning it back" on these areas.



Key considerations for new development vision:

- Explore the options for pedestrian links into and out of the site.
- Ensure the development does not turn in on itself but has a positive outlook towards the landscape setting
- Ensure existing trees are retained and incorporated into the scheme.
- Ensure the amenity of existing residents is maintained and properties are not overlooked.
- Maximise views of ecological areas and landscaping.

### 3. Consultation & Design Development

#### Design Commission for Wales

The draft Development Brief was presented to the Design Commission for Wales (DCfW) on the 16th March 2017. The concept presented in this Development Brief was generally supported by the DCfW. Their report is contained within Appendix 1 and a summary of their comments are as follows:

- “We recognise that some of the requirements for the site are still unknown, particularly in relation to the community uses. This presents a challenge to successfully integrate these elements and provide certainty about place making opportunities, including the quality of the central space that the scheme concept is based upon”.
- “We suggest that possible options that may come forward for the Community Hub are explored to maximise good place making and establish parameters for designs, especially where secure sports pitch provision may present some challenging interfaces”.
- “The vision should move on from the general commitments currently expressed in the development brief to be more specific about what type of place this will be, what it will be like to live there and how it will form the new edge to Dinas Powys”.
- “The location of the proposed development suggests that it should establish an attractive residential area on the edge of the existing settlement that draws on the wealth of local assets on the site”.
- “It is important that future residents understand the importance of the ecology of the area and buy into being custodians of this important resource...and ensure the habitat is positively integrated into the development”.
- “The current arrangement of rear gardens facing onto the woodland presents management and security issues and does not maximise the sites potential”.
- “Addressing this woodland edge more positively.....will provide a better setting for the properties and will help to prevent unwanted issues that can occur at the back of properties such as rubbish being dumped over the fence and insecure boundaries”.
- “The tree cover is one of the one of the key assets of the site that should contribute to the sense of place”.
- “Further exploration of the potential to open up the woodland in a controlled way that would allow important pedestrian connections to be made across the site is required”.
- “The topography has a significant impact on the land to the west of the site and the design must respond appropriately.....it can also contribute to the creation of a great setting for the development if addressed positively”.
- It is positive to hear that DQR compliant house types have been designed that can be easily pepper potted through the development”.

#### Key considerations for new development vision:

- Establish a series of parameters for community hub/central space to ensure the residential quality is not compromised .
- A more specific vision for the development and how it will form the new edge to Dinas Powys
- Better integration of the woodland into the development.
- Ensuring the affordable housing is pepper potted throughout the development.

### 3. Consultation & Design Development

#### New Development Vision

Following on from the DCfW meeting the development vision and concept plan for the development has been evolved and expanded to address comments. This includes:

- It was decided that in order to create the highest quality development then development will need to have a close relationship with the community hub and therefore front onto the space. A set of design parameters will ensure that whatever development takes place at the hub contributes to the development as a whole.
- The woodland will be given more prominence especially in the west of the site. The development will have a more positive relationship to the woodland and where possible properties will front onto it. Where possible properties will sit within the woodland and existing trees retained to further the wooded character of the development.
- The residential area of the site has been reduced to ensure the ecological needs of the site have been met allowing for more woodland features in the west of the site. This also ensures a wide landscape buffer to the existing residential properties.
- Areas of higher and lower densities have been identified to help ensure the character of higher density core and lower density edges to sit more appropriately in the landscape context.
- Where possible properties will face out and form a positive frontage for the development helping to strengthen the urban edge of Dinas Powys.

Mitigation requirements ensuring that there be no net loss of dormouse habitat has resulted in a smaller development area and a consolidation of an ecological area towards the west and centre of the site. The requirements also set out that these areas need to be fenced off and not accessible to the public. This has resulted in an inability to establish and pedestrian/cycle link to the west of the site.



#### New Development Vision

Plan by RPS. © Crown Copyright. All rights reserved.  
Licence number AR 161462 (Not to scale)



# DEVELOPMENT PROPOSALS

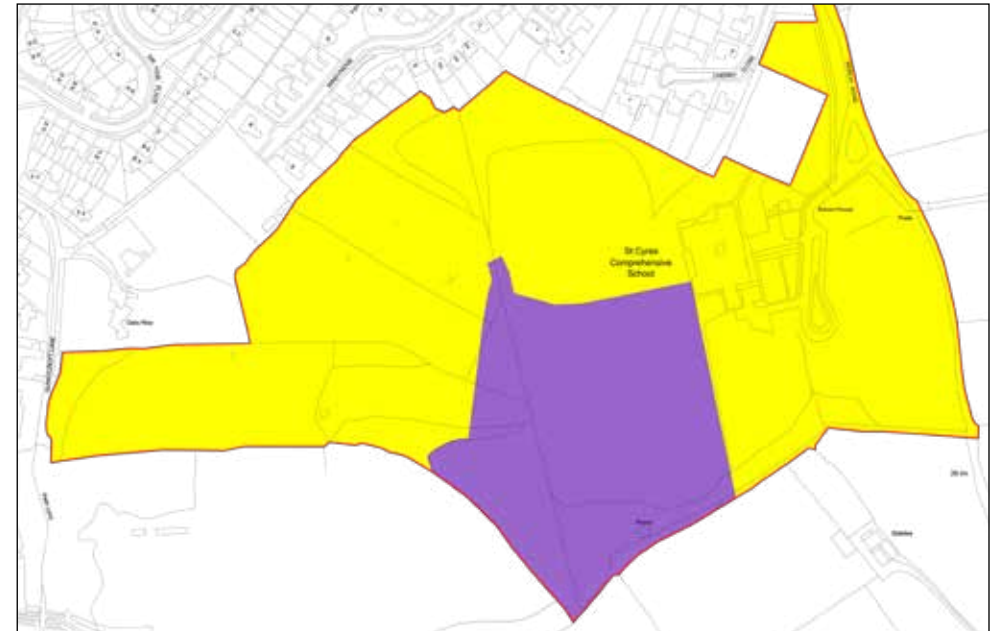


## 4. Development Proposals

### Masterplan

This masterplan represents the full application portion of this hybrid application for 220 residential units including access. The masterplan builds on the development vision and key features include:

- The retention of the existing woodland to help form an ecological area for the protection of Dormice on the site. Due to the requirements of this ecological protection these areas will be fenced off and not available for public use. These also help provide the wooded character of the scheme.
- Properties help form a strong relationship with the community hub and overlook the space providing natural surveillance and activity.
- The existing access will be upgraded to form the main vehicular access point for the scheme. This helps provide easy access to the medical centre, Dinas Powys village centre and train station.
- Green spaces at the edges of the development help form a natural and 'green' boundary to the development helping it sit in the surrounding landscape setting. These spaces will generally be fenced off to protect their ecological value.
- Properties will be formed around a series of perimeter blocks that define private space at the rear and public space at the front. Where parking courts are situated within the rear of the blocks where possible properties will overlook these spaces.
- The area to the south east of the site will be used as drainage storage through underground storage tanks.



- Full Application Area
- Outline Application Area

### Hybrid Application Areas Plan

Plan by RPS. © Crown Copyright. All rights reserved.  
Licence number AR 161462 (Not to scale)





## 4. Development Proposals

### Storey Heights Layout



The proposed residential units be wholly 2 storey in scale with single storey garages. This is informed by the scale of the built form of neighbouring properties ensuring the proposals appropriately respond to their context. By maintaining the storey heights at this level the development will sit within it landscape setting of mature trees

- 2 Storey
- 1 Storey (Garage)

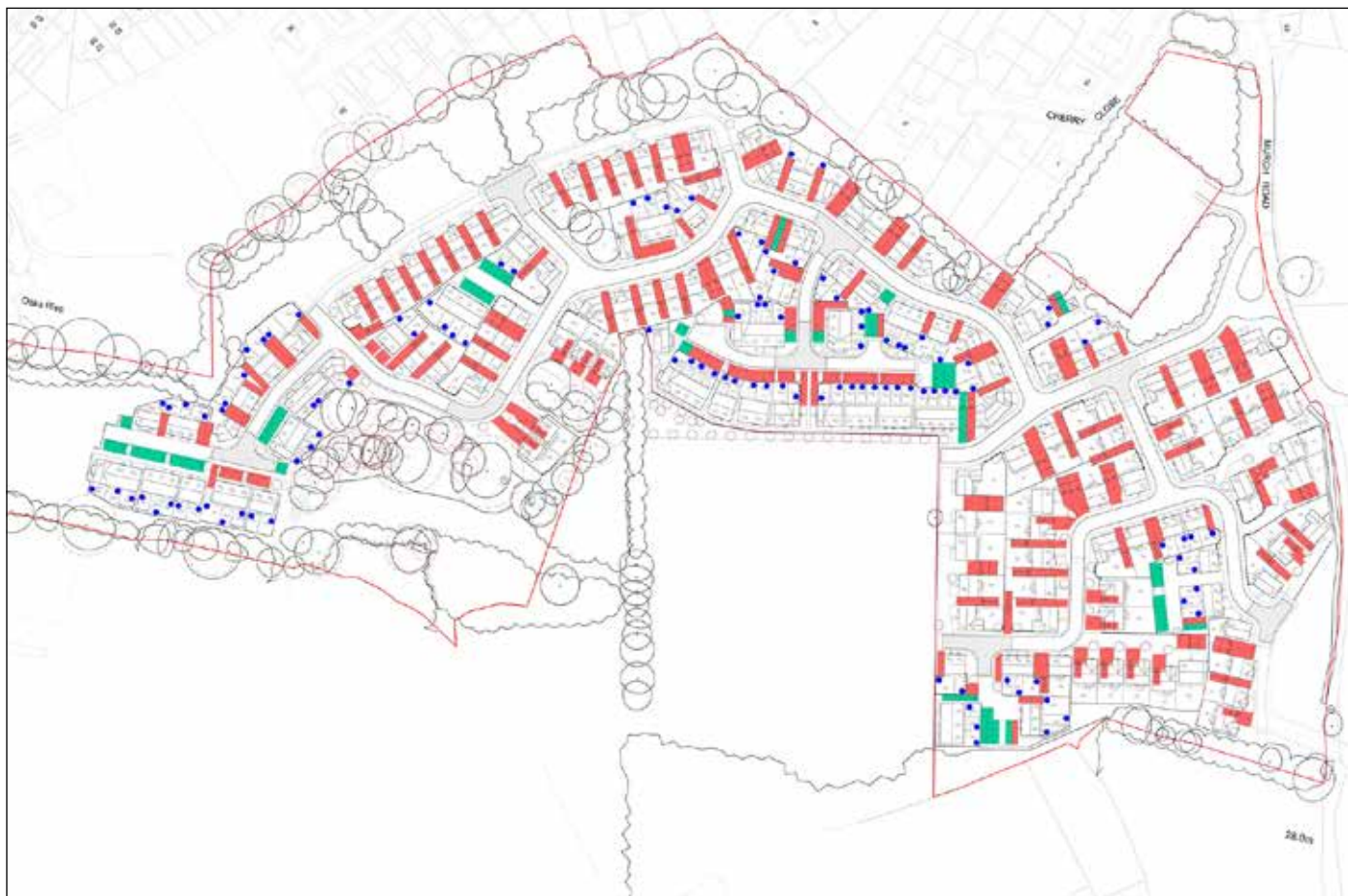
### Affordable Housing Layout



The scheme will provide 88 affordable homes, which are split between low cost shared ownership and social rented. These homes are pepper potted throughout the development and will be of the same design and materials as the private units.

- Low Cost Shared Ownership
- Social Rented

## Parking Strategy



In accordance with policy and design guidance the parking strategy provides for a mix of on plot and on street parking solutions.

Key considerations to be taken into account include:

- Car parking spaces to be well integrated in to the streetscape design to achieve a high quality public realm.
- Parking to help define an attractive, well used street and encourage the use of front entrances to dwellings.
- Garage to be located alongside dwellings so not to obstruct natural surveillance.
- Within parking courts quality design and maximum natural surveillance opportunities to ensure security to property backs and to reduce the possibility of crime.
- All residential cycle parking are to be secured and sheltered either within buildings, cycle sheds or a sheltered structure.

- Curtilage Parking
- Courtyard Parking
- Cycle Store Location

## 4. Development Proposals

### Appearance

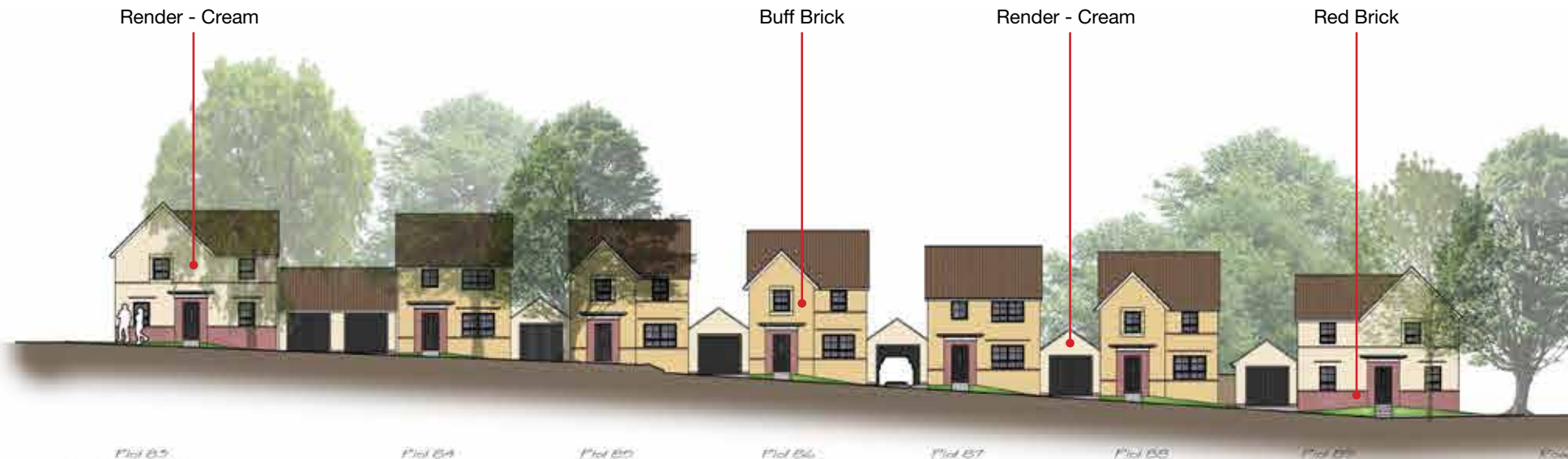
The proposed houses are designed to ensure a high quality environment that is in keeping to the local vernacular. The new development will possess visual cohesion by using a materials palette and design styles which reflect local character.

The key architectural features include:

- Buildings will be designed with a simple form and appropriate detailing that complement the local vernacular
- White eaves and fascia will be used with black rainwater goods
- The wall materials include; Red facing brick, Buff facing brick, vertical timber cladding and render.
- Roofs will be plain tiles and slates laid to a steep pitch of hipped construction and some gable ends.
- Windows will be grey UPVC casement.
- Doors will be vertical boarded with well detailed porches supported by simple or decorative brackets.



*Example of how the properties may look*



A-A

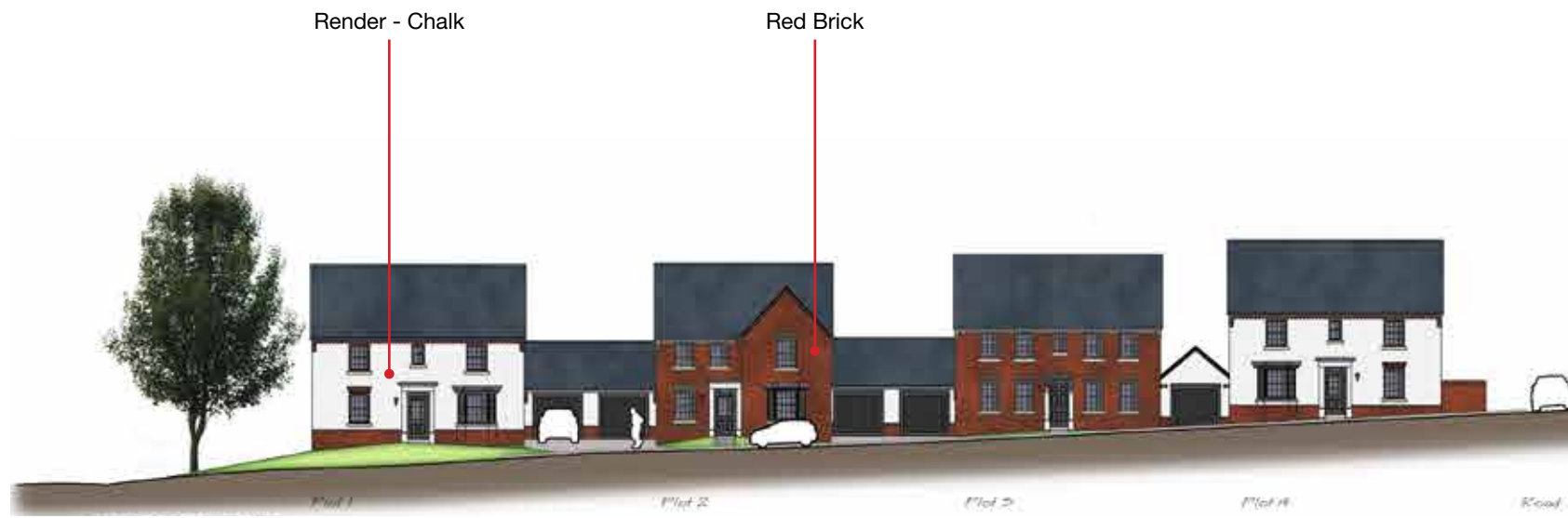


Example of how the properties may look



Roof Tile  
Terracotta Brindle





B-B



C-C

Roof Tile  
Slate Blue



Plot 44

Plot 45

Plot 42

Plot 41

Roof Tile  
Smooth Grey



Plot 191 Plot 192 Plot 193 Plot 194 Plot 195 Plot 196 Plot 197 Plot 198 Plot 199 Plot 200 Plot 201 Plot 202

---

## 4. Development Proposals

### Outline Permission Parameters

The community/recreation area of the site sits at the heart of the scheme and will form an integral feature of the final design. It is envisaged that the area may be used as a community centre, sports hall and associated pitches. However as there are currently no proposals for the area this section establishes a series of design parameters for any potential uses. This is intended to protect the amenity of any nearby residents and ensure the overall quality of the scheme.

### Existing Landscape

The existing landscaping will form part of the wider ecology and landscape strategy and therefore will need to be retained wherever possible. This will include maintaining root protection zones.

### Proposed Landscaping and Fencing

Suitable landscaping should be placed around the perimeter of the field, adjacent to the residential properties to help define the semi private nature of the frontages. If any fencing is needed to secure the area this should be placed behind the landscaping to lessen its visual impact.

### Built Form Envelope and Active Frontages

If any built form is proposed on the area, it should be located towards the south west of the area away from the residential properties. Any buildings should also be designed to project positive frontages onto their northern and eastern façades.

### Vehicular Access



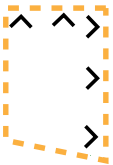


The vehicular access (and main pedestrian) access point will be in the north east corner of the area.

### Potential Pedestrian Access

There is the potential for pedestrian access points into the north and east of the area linking into the wider scheme.



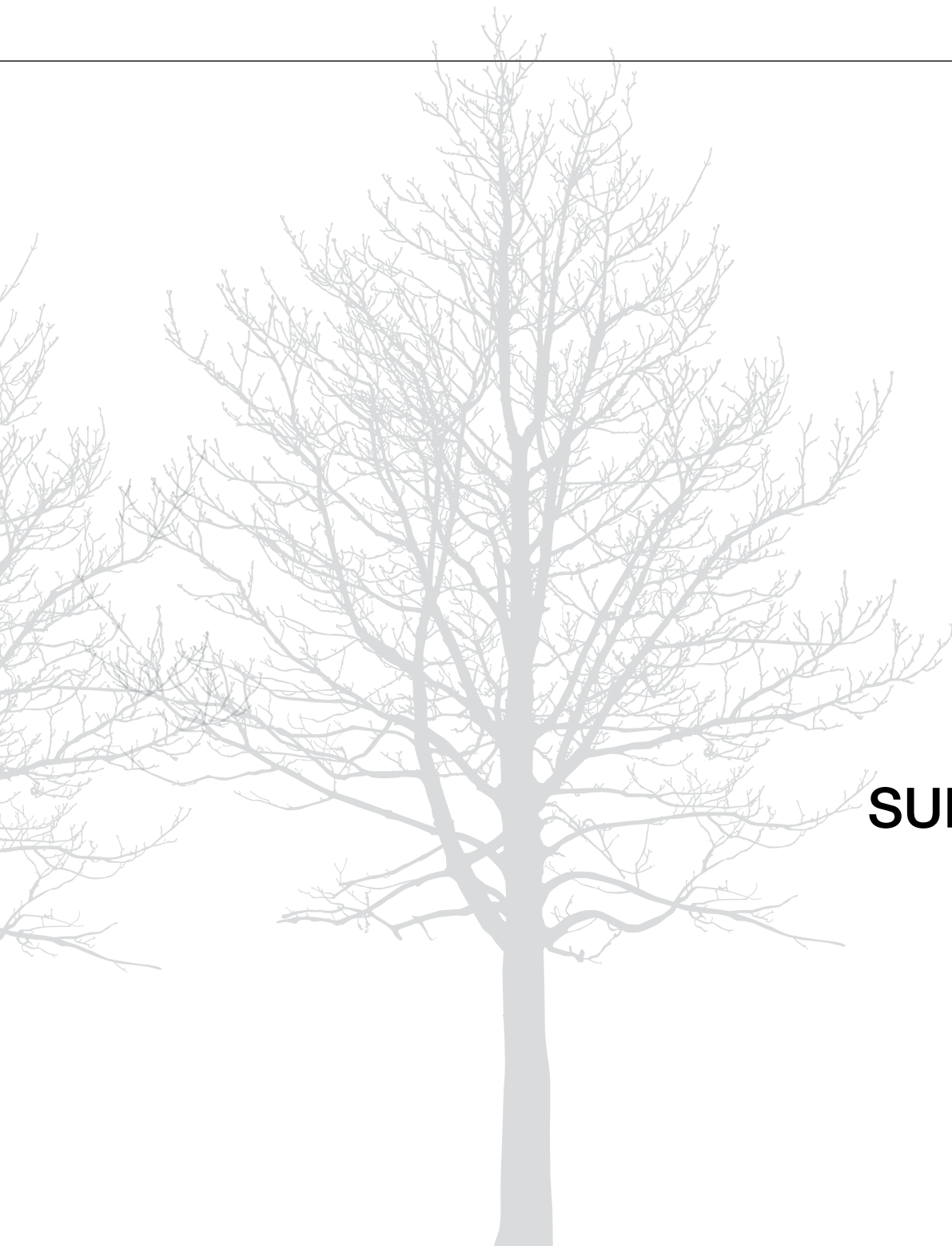


-  Retained Landscape
-  Proposed Landscaping & Fencing
-  Built Form Envelope & Active Frontages
-  Vehicular Access
-  Potential Pedestrian Access

## Outline Application Hub

Plan by RPS. © Crown Copyright. All rights reserved.  
Licence number AR 161462 (Not to scale)





## SUMMARY



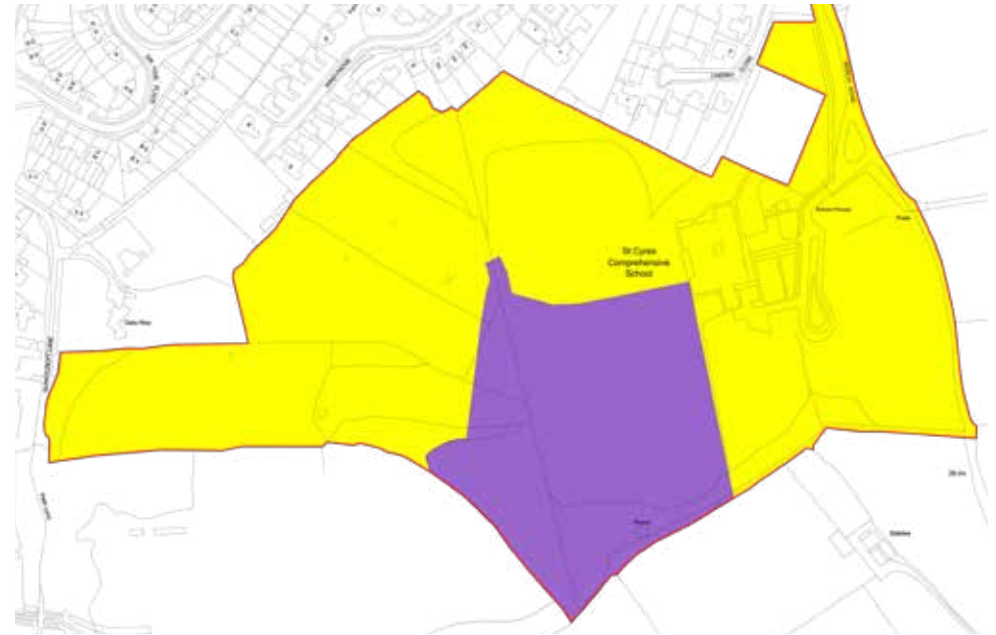
## 5. Summary

### Summary

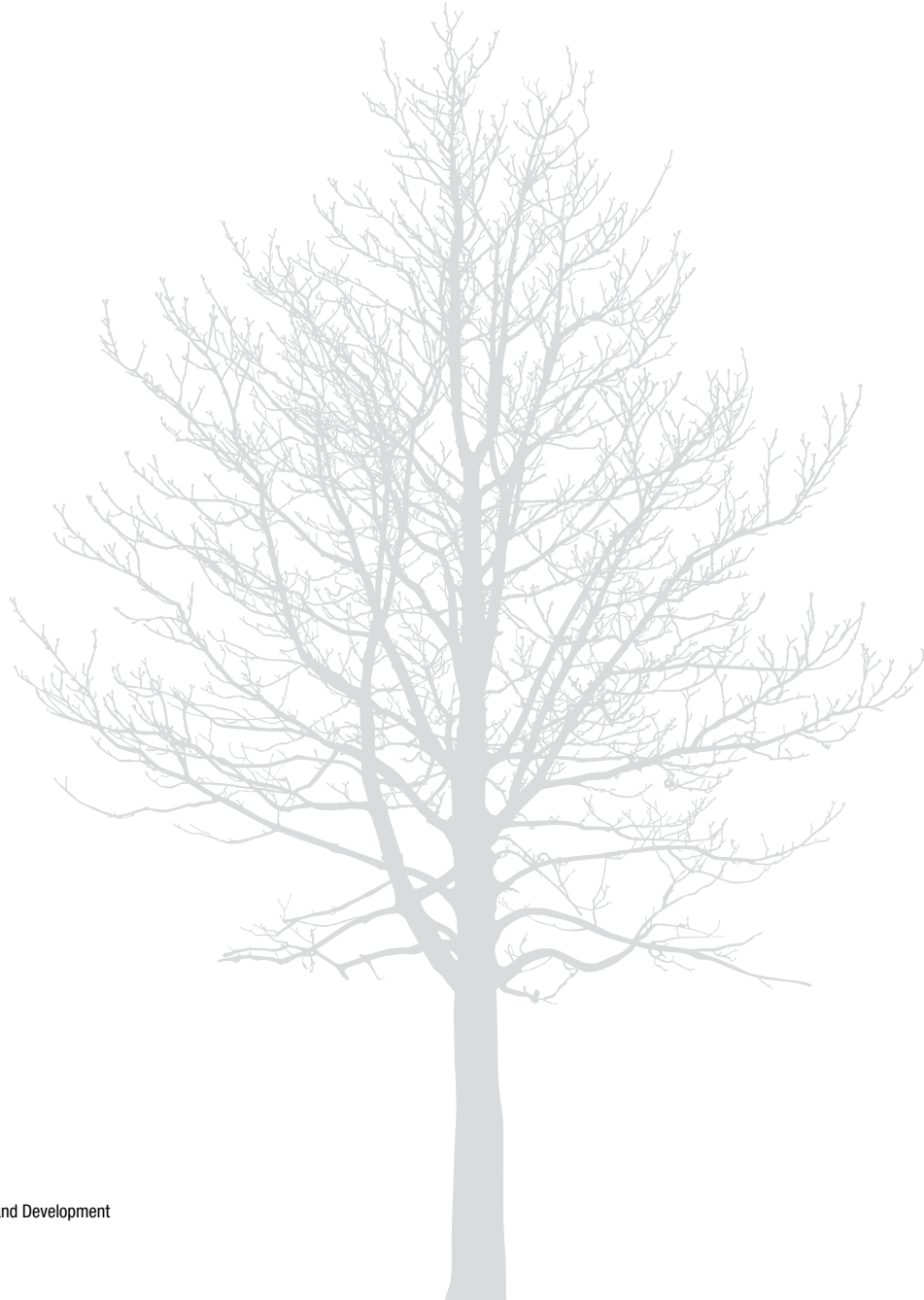
The proposals for the former St Cyres School consist of a hybrid application for the residential development of the site for up to 220 units, highways and drainage infrastructure and associated landscaping and an outline application in respect of the community and recreational use area.

The design of the scheme has largely been in response to the ecological constraints of the site and the necessary Dormice mitigation along with the Design Commission for Wales comments on the Design Brief. The result is a high quality development that makes the most of the woodland/green setting of the site. The community and recreation area sits at the heart of the scheme and will be a focus for the new community. Although there are currently no proposals for this part of the site, this document sets out a number of design parameters to ensure any proposals compliment the development.

The development will bring much needed housing to the area and include 88 affordable homes. All homes will be of an architectural style and use materials that will compliment the local vernacular.







# APPENDIX





# Design Review Report

St Cyres School Site

**DCFW Ref: 132**

Meeting of 16<sup>th</sup> March 2017



## Declarations of Interest

Panel members, observers and other relevant parties are required to declare **in advance** any interests they may have in relation to the Design Review Agenda items. Any such declarations are recorded here and in DCFW's central records.

### Review Status

Meeting date	16 <sup>th</sup> March 2017
Issue date	30 <sup>th</sup> March 2017
Scheme location	Vale of Glamorgan
Scheme description	Residential Development
Scheme reference number	N132
Planning status	Pre-application

### Public

## Declarations of Interest

None declared.

## Consultations to Date

This is the first time that DCFW have been consulted on proposals for this site.

## The Proposals

Redevelopment of the former St Cyres School site incorporating 225 residential properties and associated community recreation land.

## Main Points

The Design Commission welcomed the opportunity to review the emerging development brief for this site at the concept stage while there is an opportunity to enhance the proposals. The following key points were raised in the review.

### Concept Development

The draft development brief document presents a good summary of the aspects that have been covered in the site and context analysis, however there is currently a missing link in the narrative between the analysis and the concept plan. The explanation of the process that has been undertaken in working through the ecology considerations and community requirements with NRW and the local authority explain some of the decisions that have been made. This gap should be addressed in the final document.

We recognise that some of the requirements for the site are still unknown, particularly in relation to the community uses. This presents a challenge to successfully integrate these elements and provide certainty about place making opportunities, including the quality of the central space that the scheme concept is based upon. Clarity is required as soon as

possible to enable the design team to move forward with the approach to the edges of the area of the community hub. We suggest that possible options that may come forward for the Community Hub are explored to maximise good place making and establish parameters for designs, especially where secure sports pitch provision may present some challenging interfaces.

### Review the Vision

Now that a significant amount of work has been undertaken understanding the requirements of the site and its constraints, it is an important time to revisit the vision for the development. Taking a fresh look at how the constraints can be considered positively to give the development character, interest and distinctiveness will enhance the proposals and will be more compelling for the community as well as prospective buyers. The vision should move on from the general commitments currently expressed in the development brief to be more specific about what type of place this will be, what it will be like to live there and how it will form the new edge to Dinas Powys. The present design narrative describes "village core" and "village edge" development and this should be reviewed. The location of the proposed development suggests that it should establish an attractive residential area on the edge of the existing settlement that draws on the wealth of local assets on the site.

### Addressing the Woodland

It is important that future residents understand the importance of the ecology of the area and buy into being custodians of this important resource. Further work is required to ensure that the woodland that has been identified as important dormouse habitat is positively integrated into the development. The current arrangement of rear gardens facing onto the woodland presents management and security issues and does not maximise the site's potential. The tree cover is one of the key assets of the site that should contribute to the sense of place. Addressing this woodland edge more positively, for example with a footpath along the edge or a portion of the estate road with properties facing onto the woodland, will provide a better setting for the properties and will help to prevent unwanted issues that can occur at the back of properties such as rubbish being dumped over the fence and insecure boundaries.

Further exploration of the potential to open up the woodland in a controlled way that would allow important pedestrian connections to be made across the site is required. Looking at examples of what has been done elsewhere such as the former Hellingly Hospital site developed by Persimmon Homes and an application recently submitted at Crowborough by Catesby Strategic Land could be useful to explore more flexible approaches to integrating appropriate dormouse habitat mitigation / protection and public access. A more creative dialogue with NRW that recognises the presence of protected species and habitat as well as exploring opportunities for local education, information, appreciation and ownership of the ecological asset should be explored. Consideration could then be given to whether this space could contribute towards the open space requirements for the site.

### Developing Character

The vision should inform the next stage of design of the streets and spaces which will enhance the character and identity of the development.



The topography has a significant impact on the land to the west of the site and the design must respond appropriately to this area in the house types that are selected and how they are arranged. Although this presents a challenge, it can also contribute to the creation of a great setting for the development if addressed positively. Retaining more of the field boundaries could further enhance this character. The design solution for these spaces needs to be worked through and evidenced in plan, elevation and section.

#### Balancing Requirements

Negotiation will inevitably be required regarding the delivery of affordable housing, retaining the important ecological habitat, providing the required community space, creating a great new part of Dinas Powys and generating a capital receipt for the site. Long-term quality and placemaking implications must be taken into consideration in this ongoing process. Development of high quality and design must be delivered on this prominent site.

It is positive to hear that DQR compliant house types have been designed that can be easily pepper-potted through the development. We welcome the principle of integration of affordable housing across the site.

#### Next Steps

We would like to see proposals for the site again to see how the vision and principles have been translated into the layout. Early scheduling of this is important to secure a date at an appropriate time.

DCFW also act as the assessing organisation for Building for Life 12 Wales and should be contacted for assessment when the application has been determined.

**Comisiwn Dylunio Cymru Design Commission for Wales is the trading name of DCFW LIMITED, a Private Limited Company established under the Companies Act 1985 and 2006, Company No: 04391072 incorporated in England and Wales. DCFW is a non-statutory consultee, a private limited company and a wholly owned subsidiary of the Welsh Government. Registered office: 4<sup>th</sup> Floor, Cambrian Buildings, Mount Stuart Square, Cardiff CF10 5FL T: 029 2045 1964 E [connect@dcfw.org](mailto:connect@dcfw.org). The comment recorded in this report, arising from formal Design Review through our Design Review Service, is provided in the public interest for the consideration of local planning authorities as a material consideration and other users of the Design Review Service. It is not and should not be considered 'advice' and no third party is bound or required to act upon it. The Design Review Service is delivered in line with DCFW's published protocols, code of conduct and complaints procedure, which should be read and considered by users of the service.**

***A Welsh language copy of this report is available upon request.***

#### Attendees

Architect/Design Team: Rob Hammonds, Hammonds Yates Architects

Consultants:	Darren Parker, RPS Helen Donnelly, RPS
Client Team:	Zoe Aubrey, Barratt David Wilson Homes Stephen Butler, Vale of Glamorgan
Local Planning Authority:	Mark White, Vale of Glamorgan
Design Review Panel: Chair Lead Panellist Panel	Simon Richards Jen Heal, Design Advisor, DCFW Elfed Roberts Simon Carne Alister Kratt Carole-Anne Davies, Chief Executive, DCFW Gayna Jones, Chair DCFW Hayley Kemp, Richard Matthams – Bridgend CBC
Observers	



RPS