

1. Purpose of the Exhibition

Welcome

Introduction

Thank you for attending this public consultation event for the proposed redevelopment of the Former St Cyres Lower School in Dinas Powys for the provision of a new residential housing and community/recreational use zone with associated landscaping and infrastructure.

Barratt Homes are committed to delivering sustainable places to live with high-quality homes, appropriate facilities and attractive environments for the people that live there.

We would like to hear your views on the development proposals, and any ideas you may have that can help to inform the future development of the community/recreational use zone which will be created by Vale of Glamorgan Council.



Plan by RPS ©Aerial Image - Copyright Google Earth

What Happens Next?

Barratt Homes and their design team would like your feedback on the proposals.

Formal Pre-application Consultation before applying for planning permission will take place from **11th August 2017** for 28 days. Copies of all application documents can be viewed at: <http://www.barrattsouthwalescommunity.com>. Comments can be made on the website or emailed to GardenerG@rpsgroup.com.

All feedback received through the consultation will be recorded and considered by the design team with a view to informing the development proposals. We welcome your comments.

Date	Actions
10th August 2017	Public exhibition event (today)
11th August 2017	Pre-application consultation commences
Early September 2017	Review of public comments in respect of the development proposals
End September 2017	Submission of planning application to Vale of Glamorgan Council

2. Constraints and Opportunities



Landscape

- The site lies in an elevated position overlooking the village of Dinas Powys although the site itself is relatively flat and self contained.
- The site lies adjacent to a Broadleaved Woodland SINC (Site of Importance for Nature Conservation) known as the Beeches directly to the south west. This is an ancient and deciduous woodland.

Ecology

- Dormice are present on the site and their breeding areas and resting places are protected by law.
- Areas of high quality Dormice habitat need to be protected and where possible enhanced.

Topography

- The eastern part of the site is generally flat and level with the land to the east, and the western area of the site is more steeply sloping and sits above the surrounding area to the west.

Flood Risk

- The site has little or no risk of flooding according to information provided by the Natural Resources Wales.

Access and Transport

- The site shall be accessed off Murch Road utilising the current (to be improved) access point. This sits just below the access to the new medical centre which is now fully operational.
- The site can be accessed by pedestrians and cyclists providing access to the local centre on Castle Drive and the train station.
- Bus stops located in this area provide public transport routes to Barry and Cardiff.

Archaeology and Heritage

- There are no heritage or archaeological considerations in the wider area that will effect development on site.
- The listed residential homes in Orchards Close will need to be respected and their landscape setting preserved.

3. Development Principles



Ecological Enhancement

- The design of the scheme has been landscape led. The proposed layout for the site respects, enhances and incorporates the ecology of the area.
- Mature trees and hedgerows have been retained and incorporated into the development.
- The site maximises the retention of important dormouse habitats and connectivity between them.

Access and Movement

- The site will be accessed from a reconfigured access from Murch Road.
- A clear road hierarchy and movement network will be established within the site.
- The main access will serve the community facilities with residential access formed off this.

Residential Areas

- Development will be 2 storey in height and provide a mix of dwelling sizes to include terraced, semi-detached properties and detached properties.
- 40% of the dwellings on the site will be affordable (Social rented and Local Cost Home Ownership) as required by Vale of Glamorgan Council.
- Properties have been orientated to overlook and provide activity to streets, with private drives helping properties to overlook public spaces.
- The amenity of the nearby residential properties along the existing village edge have been respected.

Community and Recreational Use Zone

- The precise use of this area is yet to be determined by the Vale of Glamorgan Council in conjunction with the local community.

4. Access and Transport



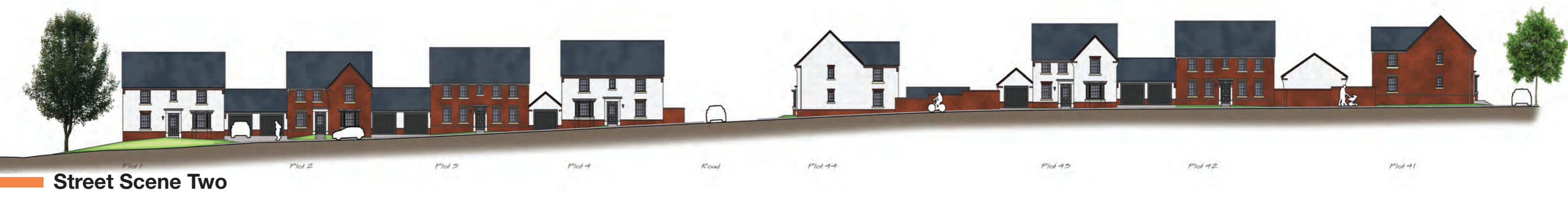
Access and Transport

- The existing access to the site is to be retained and reconfigured to provide improved access arrangements for vehicles, cyclists and pedestrians. The main access road will provide direct access to the community hub from Murch Road. Residential access shall be formed off this main route.
- Access to the wider area will be available through the primary accesses onto Murch Road / Murch Crescent which links the site to the centre of Dinas Powys via adequate local footways and footpaths. Murch Road/ Murch Crescent will be subject to improvements which will be agreed with the Vale of Glamorgan Highway Department.
- Car and cycle parking would be provided in accordance with Vale of Glamorgan's parking standards.
- The site is well connected to the local centre on Castle Drive, Dinas Powys train station and bus stops.



Existing site access from Murch Road

5. Emerging Masterplan



Illustrative Street Scenes